

PHASE LEGEND

PHASE 1	
PHASE 2	

NOTICE TO CONTRACTOR

IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEER'S DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD

LEGAL DESCRIPTION: LOT 1, PLAN KAP33849, SECTION 19, TOWNSHIP 27, OSOYOGS DIV OF YALE LAND DISTRICT

REV. NO.	DESCRIPTION	DR	CH	DATE	APP
0	ISSUE FOR APPROVALS	DW	JA	23-12-06	JK
1	ISSUE FOR APPROVALS	DW	JA	24-01-04	JK
2	ISSUE FOR APPROVALS	DW	JA	24-02-16	JK



#203 - 2011 AGABEZ ROAD, KELOWNA BC, V1Y 8Z8
 TEL: (250) 876-5851, E-MAIL: INFO@ALPINEENGINEERING.CA
 PERMIT TO PRACTICE: 1000176

CLIENT:	SABA CONSTRUCTION LTD. 123830 - 80TH AVENUE, SURREY, BC, V3W 3A8 PH. 604-637-7824
PROJECT:	TREETOP RD SUBDIVISION 1870 TREETOP RD, KELOWNA, BC, V1P 1C5 PID: 003-074-145

The location of existing underground utilities are shown in an approximate way only & have not been independently verified by the contractor and determine the exact location of all existing utilities before commencing work, and the contractor shall be fully responsible for any and all damages which might be incurred by the contractor's failure to exactly locate and preserve any and all underground utilities.

TITLE:	ZONING: RU2 - LARGE LOT COMPOSITE UTILITY PLAN	DESIGN: DW	CHECK: JA
PROJECT NO.	SCALE: HORZ. 1:500 VERT. -	DRAWN: DW	APPR: JBK
DRAWING NO.	ALPINE DRAWING NO.	DRAWING DATE: FEBRUARY 16, 2024	
		SHEET NO. C-003	REV. 2

ZONING: RU2 - 16 LOTS (MEDIUM LOT HOUSING)

SUBDIVISION REGULATIONS

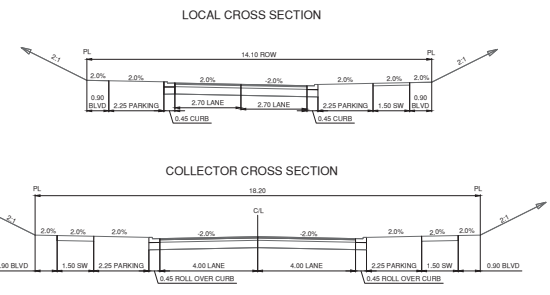
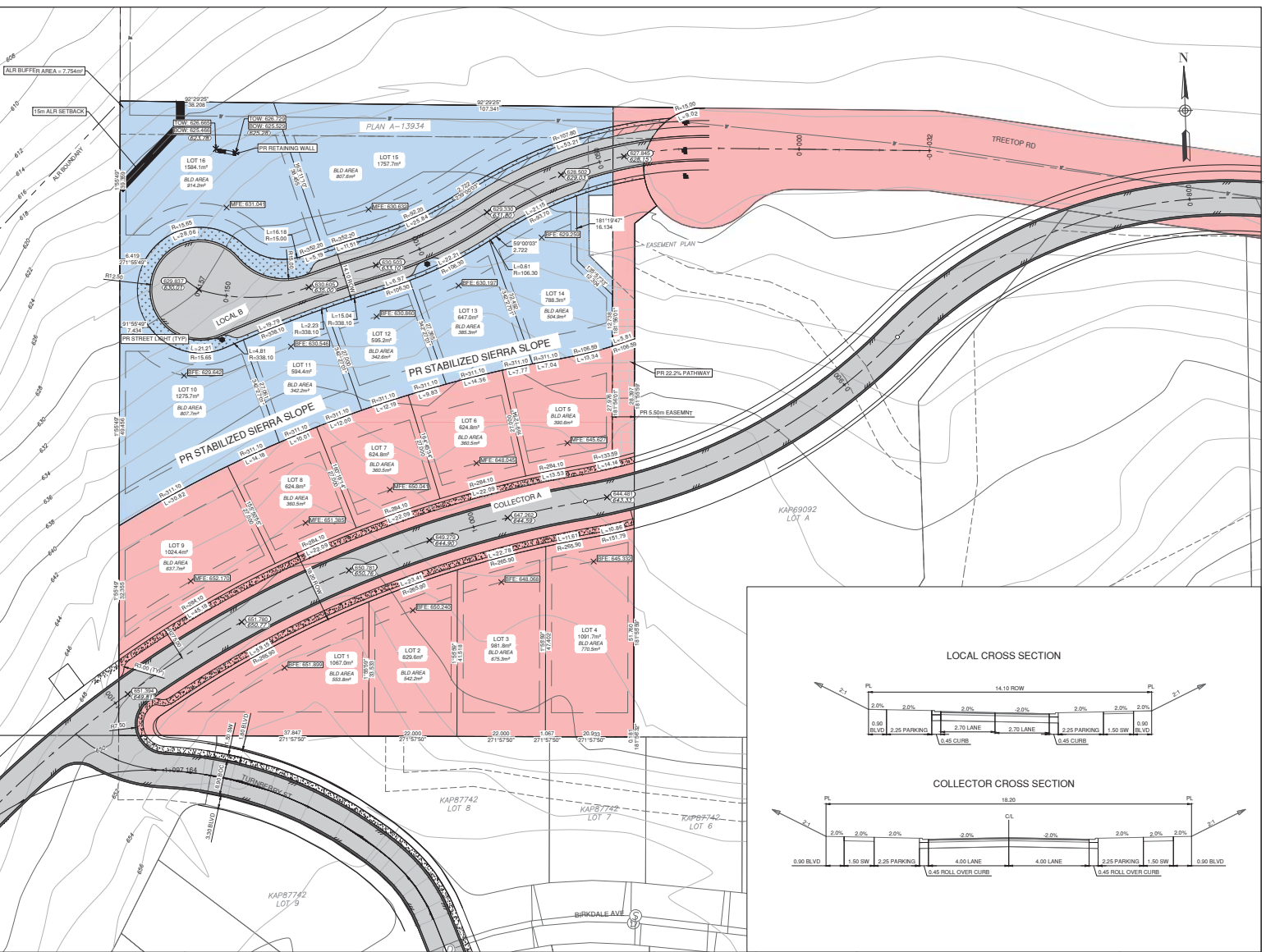
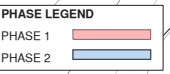
- MINIMUM LOT WIDTH = 13.0m
- MINIMUM LOT DEPTH = 27.0m
- MINIMUM LOT AREA = 27m²

DEVELOPMENT REGULATIONS

- MAXIMUM BUILDING COVERAGE = 40%
- MAXIMUM IMPERMEABLE COVERAGE = 70%

SETBACKS

- MINIMUM REAR YARD = 6.0m
- THE MINIMUM REAR YARD SETBACK WHEN A LOT CONTAINS THREE OR MORE DWELLING UNITS IS 3.0m
- MINIMUM SIDE YARD = 1.5m
- SIDE YARDS ARE NOT REQUIRED FOR SEMI-DETACHED HOUSING OR TOWNHOUSES ON A LOT LINE THAT HAS A PARTY WALL AGREEMENT
- MINIMUM FRONT AND FLANKING SIDE YARD = 3.0m
- THE MINIMUM SETBACK FOR ANY ATTACHED GARAGE OR CARPORT THAT FACES THE STREET SHALL BE 6.0m
- MEASURE FROM EDGE OF SIDEWALK CLOSEST TO LOT LINE. IN SITUATIONS WITHOUT A SIDEWALK THE SETBACK SHALL BE MEASURED FROM BACK OF CURB OR EDGE OF STREET. HOWEVER, THE MINIMUM SETBACK FROM LOT LINE IS 3.0m



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LEGAL DESCRIPTION: LOT 1, PLAN KAP33849, SECTION 19, TOWNSHIP 27, 0501005 DIV OF YALE LAND DISTRICT						
B.M. LOCATED AT	MONUMENT NO.	STREET & AVENUE	ELEVATION	GEODETIC DATUM:	UTM83-11	
REV. NO.	DESCRIPTION	DR	CH	DATE	APP	
0	ISSUE FOR APPROVALS	DW	JA	23-12-06	JK	
1	ISSUE FOR APPROVALS	DW	JA	24-01-04	JK	
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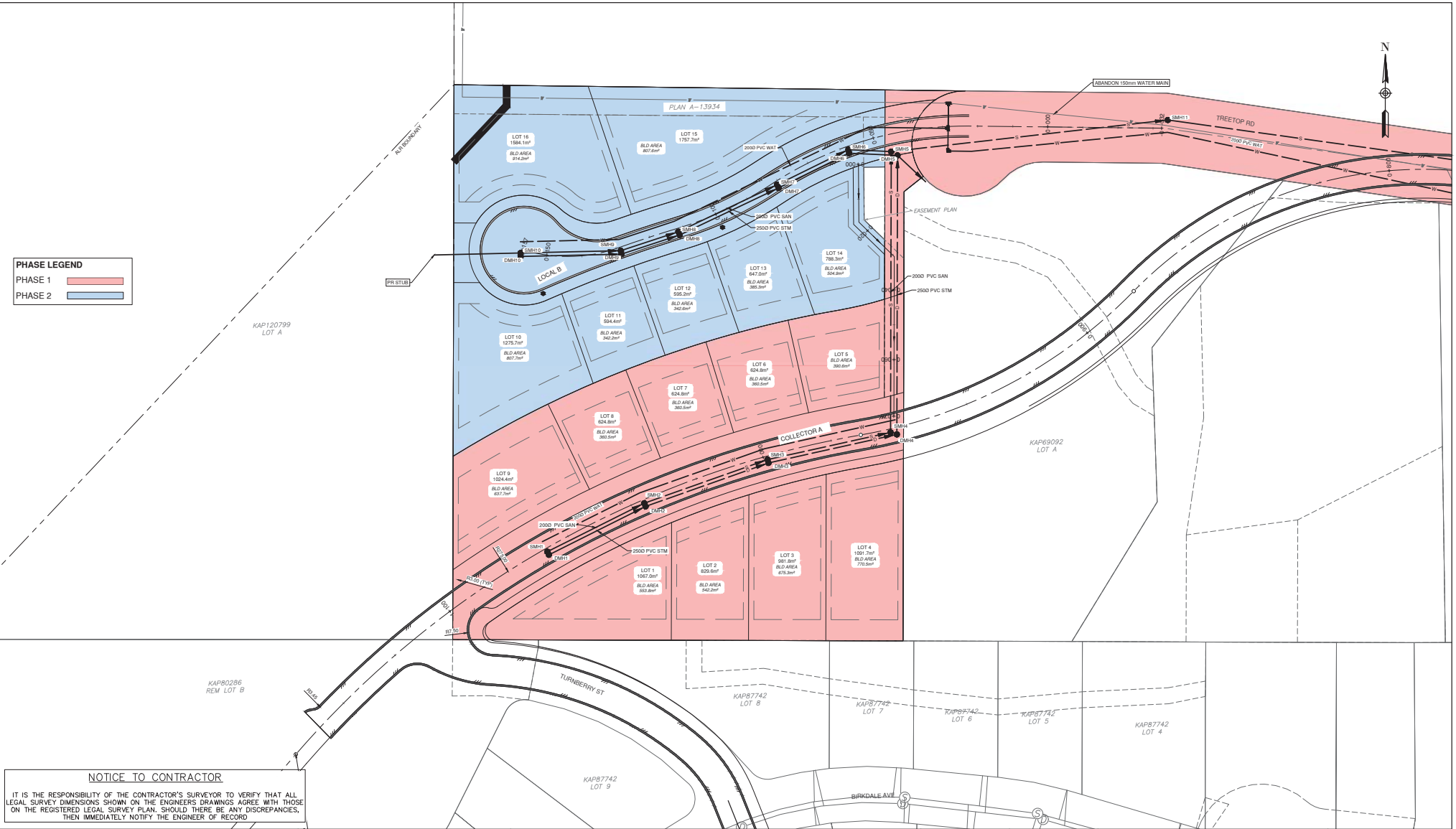
#303 - 2011 AGASSIS ROAD, KELOWNA BC, V1Y 8Z8
 TEL: (250) 878-5261, E-MAIL: INFO@ALPINEENGINEERING.CA
 PERMIT TO PRACTICE: 1000176

CLIENT: SABA CONSTRUCTION LTD.
 123830 - 80TH AVENUE, SURREY, BC, V3W 3A8
 PH. 604-537-7824

PROJECT: TREETOP RD SUBDIVISION
 1870 TREETOP RD, KELOWNA, BC, V1P 1C5
 PID: 003-074-145

The location of existing underground utilities are shown in an approximate way only & have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be incurred by the contractor's failure to exactly locate and preserve any and all underground utilities.

TITLE: ZONING: RU2 - LARGE LOT PROPOSED SITEPLAN		DESIGN: DW	CHECK: JA
		DRAWN: DW	APPR: JBK
		ALPINE FILE: 2023-167	
PROJECT NO.	SCALE: HORIZ: 1:500 VERT: -	DRAWING DATE: FEBRUARY 16, 2024	
DRAWING NO.	ALPINE DRAWING NO.	SHEET NO. C-004	REV. 2



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LEGAL DESCRIPTION: LOT 1, PLAN KAP33849, SECTION 19, TOWNSHIP 27, 0501005 DIV OF YALE LAND DISTRICT

REV. NO.	DESCRIPTION	DR	CH	DATE	APP
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CLIENT:	SABA CONSTRUCTION LTD. 123830 - 80TH AVENUE, SURREY, BC, V3W 3A8 PH. 604-537-7824
PROJECT:	TREETOP RD SUBDIVISION 1870 TREETOP RD, KELOWNA, BC, V1P 1C5 PID: 003-074-145

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PROJECT NO.	SCALE:	HORIZ. 1:500	DRAWN: DW	APPR: JBK
DRAWING NO.	VERT. —	ALPINE DRAWING NO.	DRAWING DATE: FEBRUARY 16, 2024	
			SHEET NO. C-005	REV. 2